



**THE CORPORATION OF THE TOWNSHIP OF AUGUSTA  
BY-LAW NUMBER 3446-2019**

**A BY-LAW TO AUTHORIZE THE EXECUTION OF A SITE PLAN CONTROL  
AGREEMENT**

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**WHEREAS** the Council of the Corporation of the Township of Augusta deems it advisable to enter into a Site Plan Control Agreement with Elaine Marshall respecting the development of a property described as:

Part of Lot 3, Concession 3, Geographic Township of Augusta,  
Part 1 on Plan 15R7471,  
Township of Augusta, United Counties of Leeds and Grenville  
Roll No. 070600001503101000

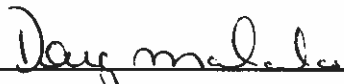
**AND WHEREAS** Authority is granted under Section 41 of the Planning Act, RSO 1990, c.P.13, as amended, to the Council of the Corporation of the Township of Augusta to enter into such an agreement;

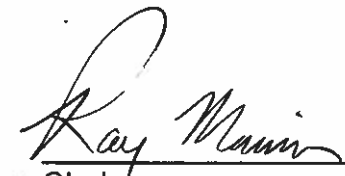
**NOW THEREFORE** the Council of the Corporation of the Township of Augusta enacts as follows:

1. That the Mayor and Clerk be and are hereby authorized to execute an agreement with Elaine Marshall.
2. THAT schedule A hereto attached forms part of this by-law.

**Read a first and second time this 13 day of November 2019.**

**Read a third time and passed this 13 day of November 2019.**

  
\_\_\_\_\_  
Mayor

  
\_\_\_\_\_  
Deputy Clerk

# **SITE PLAN CONTROL AGREEMENT**

**The Corporation of the  
Township of Augusta**

**and**

**Elaine Marshall**

**November 13, 2019**

**THIS AGREEMENT** made this 13 day of Jan, <sup>2020</sup>~~2019~~

**BETWEEN:**

**Elaine Marshall**  
hereinafter called the "OWNER"  
of the first part

**AND:**

**The Corporation of the Township of Augusta**  
hereinafter called the "TOWNSHIP"  
of the second part

**WHEREAS** the Council of the Corporation of the Township of Augusta has approved the application for site plan control submitted by Dave Marshall;

**AND WHEREAS** the Owner has represented to the Township that the lands described as in Schedule "A" and located in Part of Lot 3, Concession 3, in the Township of Augusta, are owned by the Owner;

**AND WHEREAS** the described lands are zoned Village Commercial (CV) under the Township's Zoning By-law 2965, as amended;

**NOW THEREFORE THIS AGREEMENT WITNESSETH THAT** in consideration of other valuable considerations and the sum of two dollar (\$2.00) of lawful money of Canada, now paid by the Township to the Owner (receipt whereof is hereby acknowledged), the Owner hereby covenants, promises and agrees with the Township as follows:

**1.0 SCHEDULES**

The following are the schedules attached hereto and incorporated in this Agreement by reference and are deemed to be a part hereof:

Schedule "A" - Legal Description of the Land to which this Agreement Applies

Schedule "B" - Plans and Reports

Schedule "C" - Conditions

**2.0 CONFORMITY WITH SCHEDULES**

The Owner agrees to construct the proposed development in substantial conformity in all respects with the Schedules hereto which form part of this Agreement. No buildings or works

shall be erected on the lands other than those erected in substantial conformity with the said Schedules. It is understood and agreed that written approval of the Township, in a form determined solely by the Township is required prior to any departure from the specifications of the said Schedules being undertaken.

### 3.0 COMMENCEMENT OF DEVELOPMENT

The Owner covenants that it shall:



- a) ~~The Owner, at their sole expense, shall register this agreement on title against the Land;~~
- b) Obtain all necessary permits and authorizations.

### 4.0 SITE DEVELOPMENT

The location of the buildings and the location of other facilities such as access lanes, fencing and drainage works shall conform to the Plans attached in Schedule "B" to this Agreement, provided always that minor changes to such plans may be made by the Owner with the consent of the Township.

### 5.0 CERTIFICATE OF COMPLIANCE

Upon the substantial completion of all matters and things to be provided and maintained by the Owner pursuant to this Agreement to the satisfaction of the Township, the Owner shall be entitled to obtain a Certificate of Compliance from the Township confirming that all provisions of this Agreement have been complied with in full to the date of such Certificate.

- 6.0 The Owner shall forward to the Township, a Certificate of Liability Insurance. This Certificate of Insurance shall be signed by an authorized employee of the Insurance Company providing the insurance.

### 7.0 DEFAULT

The Owner acknowledges and agrees that failure to comply with any term or condition herein may result in the Township taking such action, as deemed appropriate by the Township, to enforce compliance. After having first notified the Owner, the Township may at any time authorize the use of the whole or any part of the amount of the financial security to pay the cost of any work that the Township's Engineer deems necessary to rectify default by the Owner or its assigns, or to pay the cost of any matter for which the Owner is liable under this Agreement, whether such cost is in relation to construction or installation of any works or service or any defects or required maintenance:

- a) In the event of a default by the Owner or its successors or assigns in the provision and maintenance of all matters and things required to be done by it pursuant to this Agreement, including warranty items, the Township may, at the expense of the Owner, enter upon the Owner's Land and do all such matters and things as are in default. The Township may by Resolution authorize the use of any or all of the financial security deposited with the Township pursuant to this Agreement to pay for the cost to the Township of carrying out such matters and things. "Cost" and "expense of the Owner" in this clause shall be the actual cost incurred by the Township plus up to 15% of such cost as a charge for overhead. Any costs incurred by the Township pursuant to this clause which are in excess of the amount of any financial security held by the Township pursuant to this Agreement shall be paid by the Owner to the Township within thirty (30) days of the mailing of an invoice by the Township to the Owner and any costs referred to in this clause may be recovered by the Township in like manner as municipal taxes pursuant to the provisions of the Municipal Act.
- b) The Owner agrees that the entry and performance of works or procedures by the Township as herein provided shall not constitute a trespass and the Township shall not be responsible for any damages caused in the performance of such work except such damages as may be directly caused by the negligence of the agents, contractors, servants or workmen of the Township.

### **8.0 WORK AT OWNER'S RISK**

The conditions, facilities and matters as shown in Schedule "B" annexed hereto shall be provided and maintained by the Owner at his sole risk and expense and to the satisfaction of the Township, and that in default thereof, the provisions of the *Planning Act* and *Municipal Act* shall apply.

### **9.0 FACILITIES AND WORK TO BE PROVIDED**

The Owner covenants and agrees to provide and maintain, at its sole expense, each and every facility, work or other matter illustrated on the schedules attached hereto or otherwise required by the terms of this Agreement, all to the satisfaction of the Township. The Owner further agrees to engage qualified professionals, where required, to advise, to design and to carry out any of the work undertaken under the terms of this Agreement. Without in any way limiting the generality of the foregoing, the Owner covenants and agrees with the Township to:

- a) grade, alter in elevation and/or contour the Land, construct a storm sewer system and make sufficient outlet to adequately serve the Land and the development proposed thereon in accordance with the plans attached in Schedule "B" annexed hereto;

- b) **landscape, plant, and maintain all of the Land to be developed hereunder not required for building, parking, roads, walkways, or patios so as at all times to provide effective green areas enhancing the general appearance of the development contemplated herein, said planting and landscaping shall be in accordance with the Site Plan as approved by the Township as illustrated in Schedule "B" annexed hereto;**

#### **10.0 COMPLIANCE WITH OTHER REGULATIONS**

**Nothing in this Agreement shall exempt the Owner from complying with the requirements of any valid, current and relevant by-law and legislation affecting the Land, or from applying for and obtaining any permit, license, permission, authority or approval required by the Township or by any other restrictions lawfully imposed by an authority having jurisdiction to make such restrictions.**

#### **11.0 SUCCESSORS AND ASSIGNS**

**The covenants, agreements and conditions herein contained on the part of the Owner shall run with the land and shall be binding upon the parties hereto and their successors and assigns.**

#### **12.0 INDEMNIFICATION**

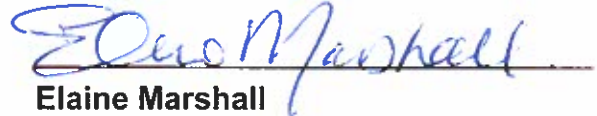
**The Owner shall indemnify the Township and each of its officers, servants and agents from all loss, damage(s), costs, expenses, claims, demands, actions, suits or other proceedings of every nature and kind, arising from or in consequence of the execution, non-execution or imperfect execution of any of the work hereinbefore mentioned or of the supply nor non-supply of materials therefore, whether such loss, damage(s), costs, expenses, claims, demands, actions, suits or other proceedings arise by reason of negligence or without negligence on the part of the Owner or its contractors, officers, servants, or agents, or whether such loss, damage(s), costs, expenses, claims, demands, actions, suits or other proceedings are occasioned to or made or brought against the Owner or its contractor, officers, servants or agents, or the Township, its officers, servants or agents.**

IN WITNESS WHEREOF the Owner has hereunto set his Hand and Seal or affixed the Corporate Seal of the Company duly attested to by its proper officers in that behalf.

DATED AT THE TOWNSHIP OF AUGUSTA this 13 day of Jan, ~~2019~~ 2020

SIGNED, SEALED AND DELIVERED )

in the presence of )

)   
Elaine Marshall

) (I have authority to bind the Corporation)

IN WITNESS WHEREOF the Corporation of the Township of Augusta has hereunto affixed its Corporate Seal duly attested to by its Mayor and Clerk.

DATED AT the Township of Augusta this 13<sup>th</sup> day of JANUARY, ~~2019~~ 2020

SIGNED, SEALED AND DELIVERED )

in the presence of )

) THE CORPORATION OF THE  
) TOWNSHIP OF AUGUSTA

) Per:

)   
) Mayor

) Per:

)   
) Clerk

**SCHEDULE "A"**

**Legal Description of the Land to which this Agreement Applies**

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**ALL AND SINGULAR** that certain parcel or tract of land and premises situate, lying and being in the Township of Augusta and **BEING COMPOSED** of:

**INSERT DESCRIPTION**

Part of Lot 3, Concession 3, Geographic Township of Augusta,  
Part 1 on Plan 15R7471,  
Township of Augusta, United Counties of Leeds and Grenville  
Roll No. 070600001503101000



## **SCHEDULE "B"**

### **Plans and Reports**

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The Site Plan approval is comprised of the following plans and reports, which may be amended from time to time, as approved by the Township of Augusta.

**Plans:**

1. **Site Plan, Project ID Number 966, Sheet Number SP1, prepared by Annable Designs, Revision 01, Revision 01, dated July 8, 2019.**
2. **Architectural Plans, Project ID 942, Sheet Numbers A0.1, A1.1, A1.2, A1.3, A2.1, A2.2, A4.1, A4.1 and A5.1, prepared by Annable Designs, Revision 05, dated March 29, 2019**

**CAUTION**  
 This is a preliminary site plan. It is not intended to be used for any other purpose. No responsibility is assumed for any errors or omissions. Any use of this plan for any other purpose is at the user's risk.

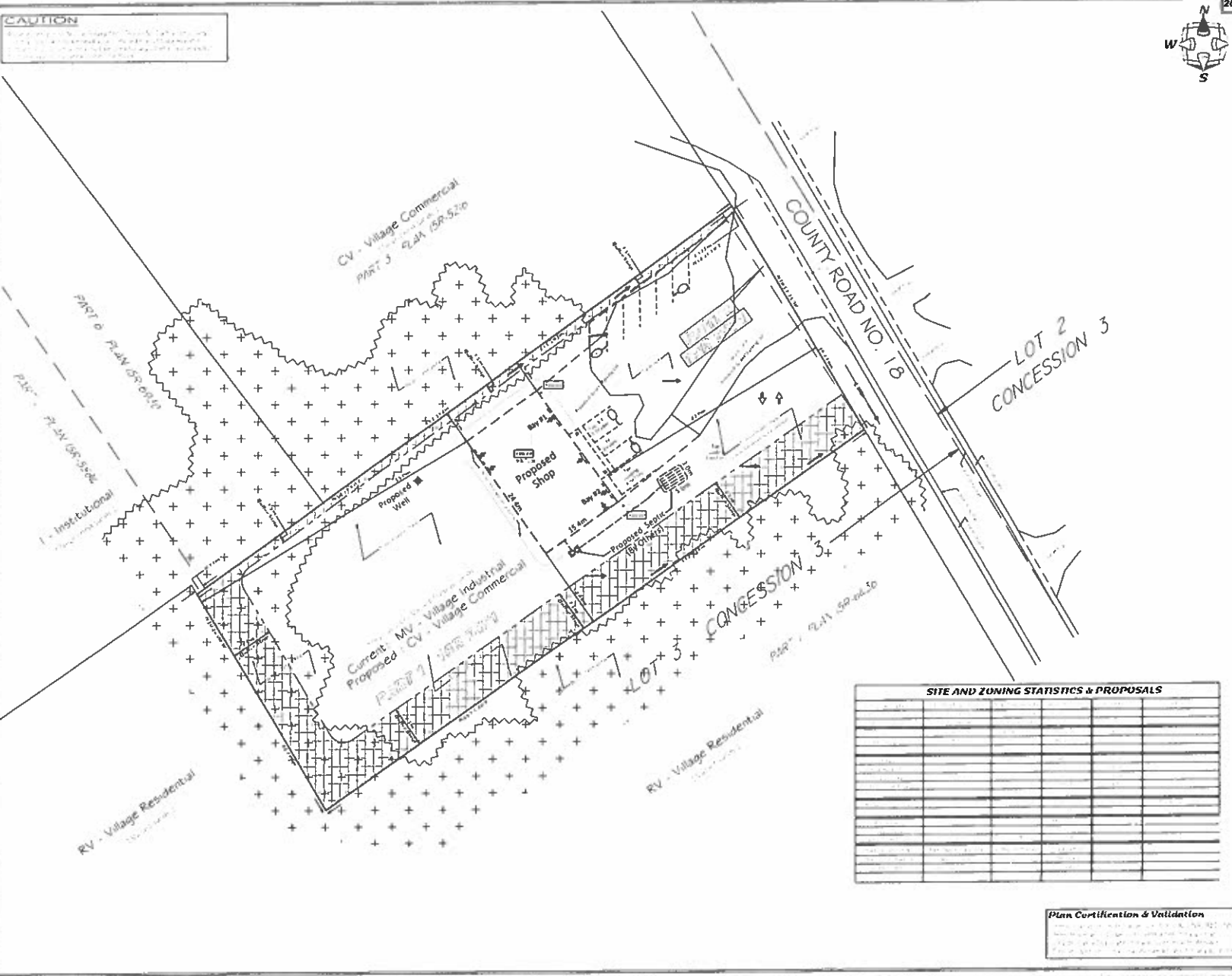


2019

**Site Plan Proposal**

For  
**Hurricane Performance  
 Proposed Development**

Being:  
 PART OF LOTS 3 CONCESSION 3  
 TOWNSHIP OF AUGUSTA  
 COUNTY OF GRENVILLE



**SITE AND ZONING STATISTICS & PROPOSALS**

Lot	Area (sqm)	Area (sqft)	Zoning	Proposed Use
LOT 1				
LOT 2				
LOT 3				

**REVISIONS & RELEASES**

NO.	DESCRIPTION	DATE

**Annable Designs**  
 ARCHITECTURE CONSULTING-PLANNING

**966 SP1**

**Plan Certification & Validation**  
 This site plan was prepared by Annable Designs and is certified to be a true and correct copy of the original. The original is held by Annable Designs.

# Annable Designs

## ARCHITECTURE-CONSULTING-PLANNING

Brockville Offices:  
Unit 7 - 2211 Parkedale Ave  
Brockville, Ontario

613 - 926 - 5350  
info@annabledesigns.ca  
www.annabledesigns.ca



We Have a Professional for that!  
www.LGAPPROVED.ca

Licensed with BCIN by



Ontario

Ministry of Municipal  
Affairs and Housing

### Terms of Acceptance and Use:

We are hereby providing electronic database file(s) as requested.

#### USE OF THESE FILES SHALL CONSTITUTE UNCONDITIONAL ACCEPTANCE OF THE FOLLOWING CONDITIONS:

1. The file user agrees to accept computer media and files for the above referenced project from **Annable Designs**, without any warranties, guarantees and/or representations of any nature whatsoever regarding the correctness, accuracy and/or completeness of any information contained therein.
2. The user further agrees that such information shall be used as reference material only, and then only for this project and not for other projects or future additions to this project, without **Annable Designs'** express written consent in each instance.
3. By use of such media and information, the user further agrees to release, indemnify, hold harmless and defend **Annable Designs** with respect to any claims, costs, losses, damages and/or liabilities, including reasonable attorney's fees and cost of defense, arising out of or relating to its use, misuse, modification, interpretation, misinterpretation and/or misrepresentation.
4. The user acknowledges that the information contained on media provided by **Annable Designs** does not necessarily reflect the information contained in Updates, Revisions, Field/Site Conditions, and/or any other modifications which may have occurred since the time when the plan(s) was completed.
5. This information is provided for the informational purposes only and should not be construed as Record documents. Any use of this information in place of the record Documents shall be at the Recipient's own risk. All dimensional information contained within these digital files is based on original measurement information and shall be field verified by all person(s) referencing this plan.
6. Finally, the user acknowledges that the use of these files is entirely at its own risk and that such use shall not in any way limit the user's responsibilities.

**COPYRIGHT 2019 - Annable Designs**

<b>MARSHALL SHOP</b>		3628-A
COUNTY ROAD 15 BROCKVILLE, ONTARIO		
<b>942</b>	<b>A0</b>	
		<b>Rev.</b> <b>05</b>

Name of Project		Location		Client	
Hurricane Building & other Store		Part 9 Housing and Retail Buildings		Building	
Project No.		Drawing No.		Revision	
1000		1000		1000	
Date		Scale		Author	
2019		1:100		J. Smith	
Project Description		Project Details		Project Status	
Hurricane Building & other Store		Part 9 Housing and Retail Buildings		In Progress	
Project Location		Project Area		Project Type	
1000		1000		1000	
Project Client		Project Budget		Project Start	
1000		1000		1000	
Project Architect		Project Engineer		Project Designer	
1000		1000		1000	
Project Structural		Project Mechanical		Project Electrical	
1000		1000		1000	
Project Plumbing		Project Fire		Project Safety	
1000		1000		1000	
Project Other		Project Total		Project Grand	
1000		1000		1000	

Building Matrix

# HURRICANE PERFORMANCE SHOP

**LOCATION:**  
 #1 COUNTY ROAD 18  
 DOMVILLE, ONTARIO  
 BUILDING - PART 9, GROUP F, DIVISION 2

**ARCHITECTURAL PLANS**

- GENERAL INFO:**  
 A0.1 COVER PAGE  
**FLOOR PLANS:**  
 A1.1 LEVEL 0 - SLAB PLAN  
 A1.2 LEVEL 1 - FLOOR PLAN  
 A1.3 ROOF PLAN - CONCEPTUAL  
**ELEVATIONS:**  
 A2.1 ELEVATIONS  
 A2.2 ELEVATIONS
- ACCESS & CIRCULATION**  
 A4.1 UNIVERSAL & BARRIER FREE  
 A4.2 ACCESS & CIRCULATION
- SECTIONS**  
 A5.1 TYPICAL WALL SECTIONS

**Project Architect Firm:**



**C W ARCHITECT INC.**  
 222 Reynolds Rd, Lansdowne  
 Ontario, K0E 1L0  
 Tel: (613) 877-4790

**Project Structural Engineering Firm:**



**N Engineering**  
 Intelligent, Intuitive, Inspired.  
 www.inengineering.ca (613) 803-8899 andrew@ineng.ca

**Project Designer & Consultant:**

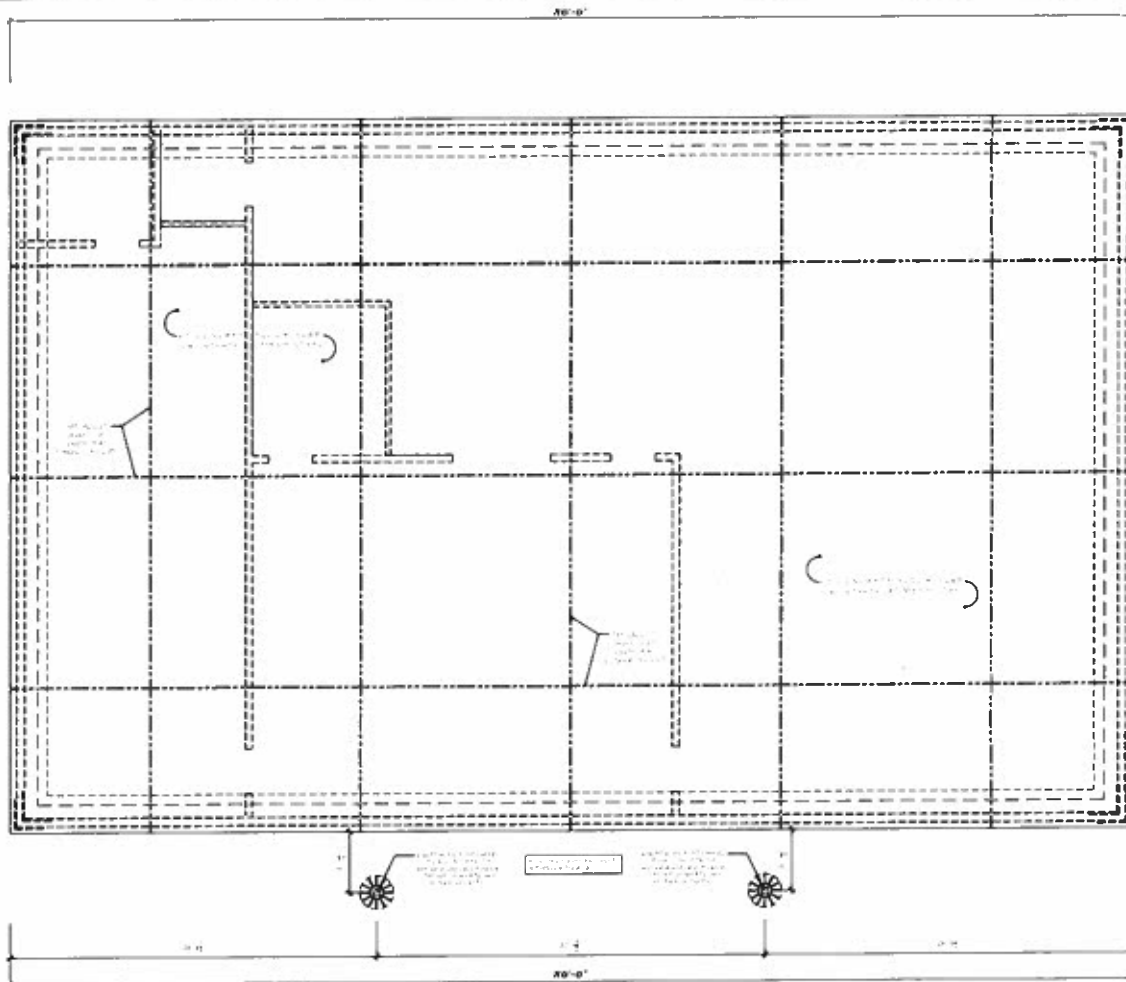


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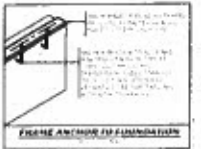
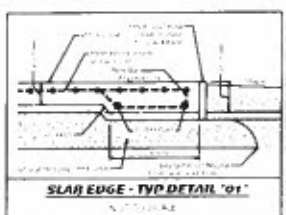
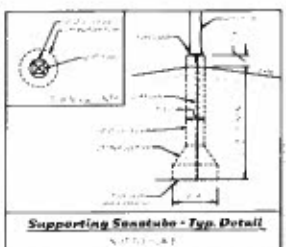
MAR 19 18		ISSUED FOR PERMIT & CONSTRUCTION	
942		A0.1	
MARSHALL SHOP		COUNTY ROAD 18 DOMVILLE, ONTARIO	
3628-A		Rev. 05	

50'-0"

50'-0"



LEVEL 0 - SLAB PLAN



**GENERAL NOTES:**

**OWNER'S REQUIREMENTS/PECIFICATIONS:**

1. All work shall be in accordance with the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).
2. All materials shall be of the highest quality and shall be approved by the Engineer.
3. All work shall be completed within the specified time frame.
4. All work shall be done in accordance with the approved drawings.

**GENERAL REQUIREMENTS:**

1. All work shall be in accordance with the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).
2. All materials shall be of the highest quality and shall be approved by the Engineer.
3. All work shall be completed within the specified time frame.
4. All work shall be done in accordance with the approved drawings.

**FOUNDATION NOTES:**

1. All foundation work shall be in accordance with the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).
2. All foundation work shall be approved by the Engineer.
3. All foundation work shall be completed within the specified time frame.
4. All foundation work shall be done in accordance with the approved drawings.

**SLAB ON GRADE NOTES:**

1. All slab on grade work shall be in accordance with the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).
2. All slab on grade work shall be approved by the Engineer.
3. All slab on grade work shall be completed within the specified time frame.
4. All slab on grade work shall be done in accordance with the approved drawings.

**STANDARD FRAMING NOTES:**

1. All framing work shall be in accordance with the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).
2. All framing work shall be approved by the Engineer.
3. All framing work shall be completed within the specified time frame.
4. All framing work shall be done in accordance with the approved drawings.

**REVISIONS & RELEASES**

NO.	DATE	DESCRIPTION	BY	CHECKED
1	2019-04-20	ISSUED FOR PERMIT & CONSTRUCTION	AT MIDERS	AT MIDERS

**MARSHALL SHOP**  
COUNTY ROAD 18  
DOKVILLE, ONTARIO

**N Engineering**  
Intelligent, Intuitive, Inspired  
www.nengineering.ca (613) 803-9899 info@nengr.com

**C W ARCHITECT INC.**  
317 Main Street East  
Toronto, ON M5E 1B1  
Tel: 416-977-2450

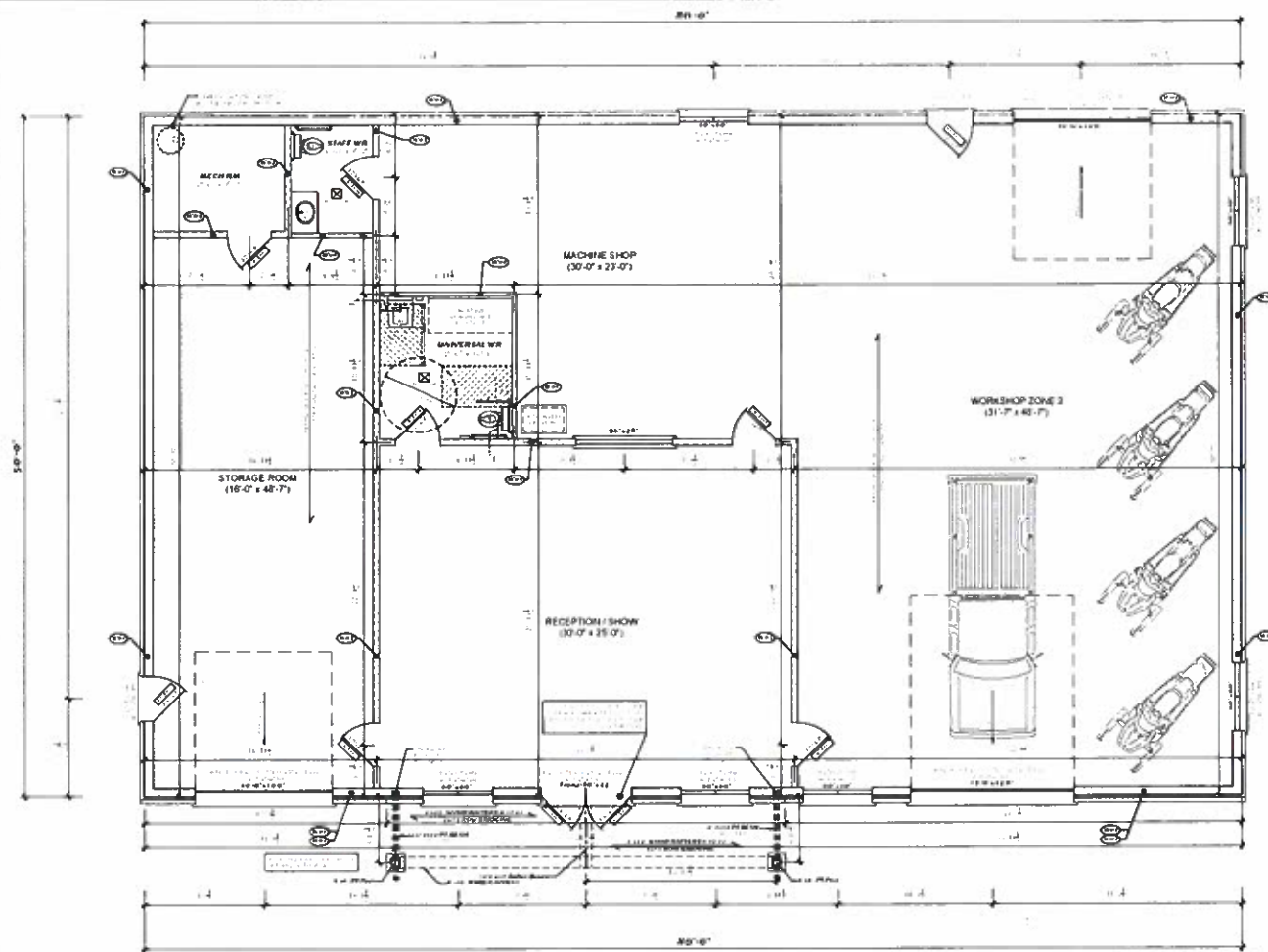
**Annable Designs**  
ARCHITECTURE CONSULTING-PLANNING

**942 A1.1**

**Rev. 05**

3525-4

LEVEL 0 - SLAB PLAN



LEVEL 1 - FLOOR PLAN

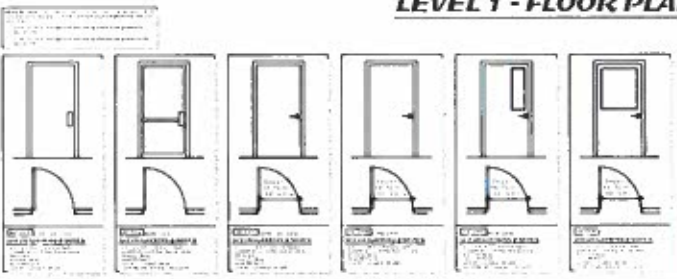
GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
- 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITY.
- 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
- 5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION WORK.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.
- 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
- 9. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH DAY.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING FINISHES.
- 11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- 12. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
- 13. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH DAY.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING FINISHES.

- GENERAL NOTES:**
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STANDARD FRAMING NOTES

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<b>WALL TYPE</b>	<b>WALL TYPE</b>	<b>WALL TYPE</b>	<b>WALL TYPE</b>	<b>WALL TYPE</b>
1. 1/2" GYPSUM BOARD ON STUDS	2. 5/8" GYPSUM BOARD ON STUDS	3. 1/2" GYPSUM BOARD ON STUDS	4. 5/8" GYPSUM BOARD ON STUDS	5. 1/2" GYPSUM BOARD ON STUDS
<b>WALL TYPE</b>	<b>WALL TYPE</b>	<b>WALL TYPE</b>	<b>WALL TYPE</b>	<b>WALL TYPE</b>
6. 1/2" GYPSUM BOARD ON STUDS	7. 5/8" GYPSUM BOARD ON STUDS	8. 1/2" GYPSUM BOARD ON STUDS	9. 5/8" GYPSUM BOARD ON STUDS	10. 1/2" GYPSUM BOARD ON STUDS



NO.	DATE	DESCRIPTION
1	2019-01-15	ISSUED FOR PERMIT & CONSTRUCTION
2	2019-02-01	REVISION: CORRECTED DOOR SWINGS
3	2019-02-15	REVISION: ADDED WINDOW SCHEDULE
4	2019-03-01	REVISION: CORRECTED WALL TYPES
5	2019-03-15	REVISION: ADDED FINISH SCHEDULE
6	2019-04-01	REVISION: CORRECTED DIMENSIONS
7	2019-04-15	REVISION: ADDED MATERIAL CALLOUTS
8	2019-05-01	REVISION: CORRECTED WINDOW SIZES
9	2019-05-15	REVISION: ADDED FINISH SCHEDULE
10	2019-06-01	REVISION: CORRECTED DIMENSIONS
11	2019-06-15	REVISION: ADDED MATERIAL CALLOUTS
12	2019-07-01	REVISION: CORRECTED WINDOW SIZES
13	2019-07-15	REVISION: ADDED FINISH SCHEDULE
14	2019-08-01	REVISION: CORRECTED DIMENSIONS
15	2019-08-15	REVISION: ADDED MATERIAL CALLOUTS
16	2019-09-01	REVISION: CORRECTED WINDOW SIZES
17	2019-09-15	REVISION: ADDED FINISH SCHEDULE
18	2019-10-01	REVISION: CORRECTED DIMENSIONS
19	2019-10-15	REVISION: ADDED MATERIAL CALLOUTS
20	2019-11-01	REVISION: CORRECTED WINDOW SIZES
21	2019-11-15	REVISION: ADDED FINISH SCHEDULE
22	2019-12-01	REVISION: CORRECTED DIMENSIONS
23	2019-12-15	REVISION: ADDED MATERIAL CALLOUTS
24	2020-01-01	REVISION: CORRECTED WINDOW SIZES
25	2020-01-15	REVISION: ADDED FINISH SCHEDULE
26	2020-02-01	REVISION: CORRECTED DIMENSIONS
27	2020-02-15	REVISION: ADDED MATERIAL CALLOUTS
28	2020-03-01	REVISION: CORRECTED WINDOW SIZES
29	2020-03-15	REVISION: ADDED FINISH SCHEDULE
30	2020-04-01	REVISION: CORRECTED DIMENSIONS
31	2020-04-15	REVISION: ADDED MATERIAL CALLOUTS
32	2020-05-01	REVISION: CORRECTED WINDOW SIZES
33	2020-05-15	REVISION: ADDED FINISH SCHEDULE
34	2020-06-01	REVISION: CORRECTED DIMENSIONS
35	2020-06-15	REVISION: ADDED MATERIAL CALLOUTS
36	2020-07-01	REVISION: CORRECTED WINDOW SIZES
37	2020-07-15	REVISION: ADDED FINISH SCHEDULE
38	2020-08-01	REVISION: CORRECTED DIMENSIONS
39	2020-08-15	REVISION: ADDED MATERIAL CALLOUTS
40	2020-09-01	REVISION: CORRECTED WINDOW SIZES
41	2020-09-15	REVISION: ADDED FINISH SCHEDULE
42	2020-10-01	REVISION: CORRECTED DIMENSIONS
43	2020-10-15	REVISION: ADDED MATERIAL CALLOUTS
44	2020-11-01	REVISION: CORRECTED WINDOW SIZES
45	2020-11-15	REVISION: ADDED FINISH SCHEDULE
46	2020-12-01	REVISION: CORRECTED DIMENSIONS
47	2020-12-15	REVISION: ADDED MATERIAL CALLOUTS
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49	2021-01-15	REVISION: ADDED FINISH SCHEDULE
50	2021-02-01	REVISION: CORRECTED DIMENSIONS
51	2021-02-15	REVISION: ADDED MATERIAL CALLOUTS
52	2021-03-01	REVISION: CORRECTED WINDOW SIZES
53	2021-03-15	REVISION: ADDED FINISH SCHEDULE
54	2021-04-01	REVISION: CORRECTED DIMENSIONS
55	2021-04-15	REVISION: ADDED MATERIAL CALLOUTS
56	2021-05-01	REVISION: CORRECTED WINDOW SIZES
57	2021-05-15	REVISION: ADDED FINISH SCHEDULE
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59	2021-06-15	REVISION: ADDED MATERIAL CALLOUTS
60	2021-07-01	REVISION: CORRECTED WINDOW SIZES
61	2021-07-15	REVISION: ADDED FINISH SCHEDULE
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63	2021-08-15	REVISION: ADDED MATERIAL CALLOUTS
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69	2021-11-15	REVISION: ADDED FINISH SCHEDULE
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76	2022-03-01	REVISION: CORRECTED WINDOW SIZES
77	2022-03-15	REVISION: ADDED FINISH SCHEDULE
78	2022-04-01	REVISION: CORRECTED DIMENSIONS
79	2022-04-15	REVISION: ADDED MATERIAL CALLOUTS
80	2022-05-01	REVISION: CORRECTED WINDOW SIZES
81	2022-05-15	REVISION: ADDED FINISH SCHEDULE
82	2022-06-01	REVISION: CORRECTED DIMENSIONS
83	2022-06-15	REVISION: ADDED MATERIAL CALLOUTS
84	2022-07-01	REVISION: CORRECTED WINDOW SIZES
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89	2022-09-15	REVISION: ADDED FINISH SCHEDULE
90	2022-10-01	REVISION: CORRECTED DIMENSIONS
91	2022-10-15	REVISION: ADDED MATERIAL CALLOUTS
92	2022-11-01	REVISION: CORRECTED WINDOW SIZES
93	2022-11-15	REVISION: ADDED FINISH SCHEDULE
94	2022-12-01	REVISION: CORRECTED DIMENSIONS
95	2022-12-15	REVISION: ADDED MATERIAL CALLOUTS
96	2023-01-01	REVISION: CORRECTED WINDOW SIZES
97	2023-01-15	REVISION: ADDED FINISH SCHEDULE
98	2023-02-01	REVISION: CORRECTED DIMENSIONS
99	2023-02-15	REVISION: ADDED MATERIAL CALLOUTS
100	2023-03-01	REVISION: CORRECTED WINDOW SIZES

LEVEL 1 - FLOOR PLAN

**MARSHALL SHOP**  
 COUNTY ROAD 18  
 DORNALIZ, ONTARIO

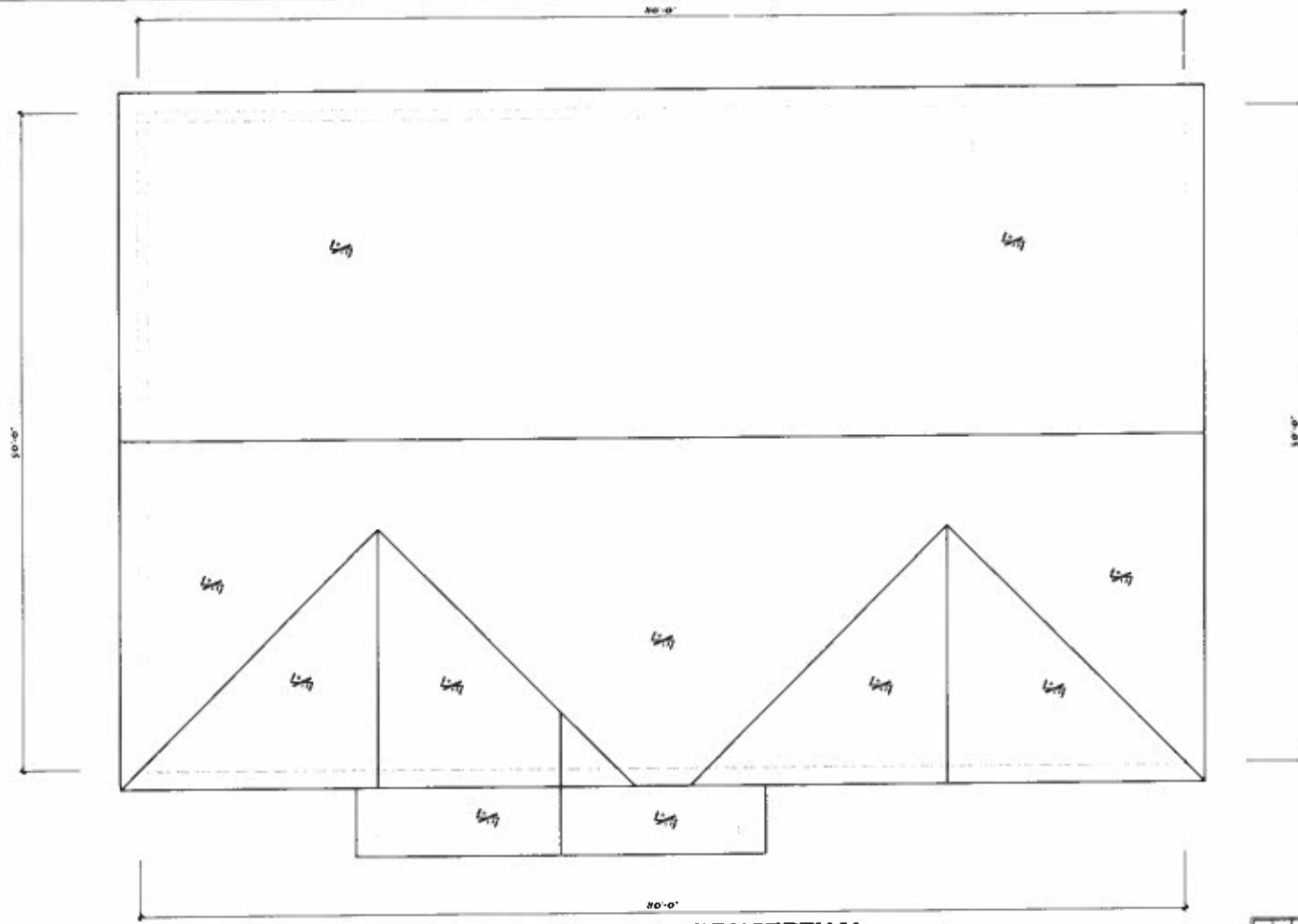
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**942 A1.2**

Rev. 05



ROOF PLAN - COPNCEPTUAL

**CHANGE IN THE QUANTITY AND SPECIFICATIONS**

1. All changes in quantity and specifications shall be noted on the drawings by a separate sheet or sheets, and shall be approved by the architect.

2. All changes in quantity and specifications shall be noted on the drawings by a separate sheet or sheets, and shall be approved by the architect.

3. All changes in quantity and specifications shall be noted on the drawings by a separate sheet or sheets, and shall be approved by the architect.

**MARSHALL SHOP**  
COURTY ROAD 16  
DOWNSVILLE, ONTARIO

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**C W ARCHITECT INC**  
1017 KENNEDY RD. SUITE 101  
SCARBOROUGH, ONTARIO

Plan Coordination & Submittals

NO.	DATE	DESCRIPTION
1	2019.05.15	ISSUE FOR PERMIT & CONSTRUCTION
2	2019.05.15	ISSUE FOR PERMIT & CONSTRUCTION
3	2019.05.15	ISSUE FOR PERMIT & CONSTRUCTION
4	2019.05.15	ISSUE FOR PERMIT & CONSTRUCTION
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8	2019.05.15	ISSUE FOR PERMIT & CONSTRUCTION
9	2019.05.15	ISSUE FOR PERMIT & CONSTRUCTION
10	2019.05.15	ISSUE FOR PERMIT & CONSTRUCTION

**REVISIONS & ERASURES**

NO.	DATE	DESCRIPTION
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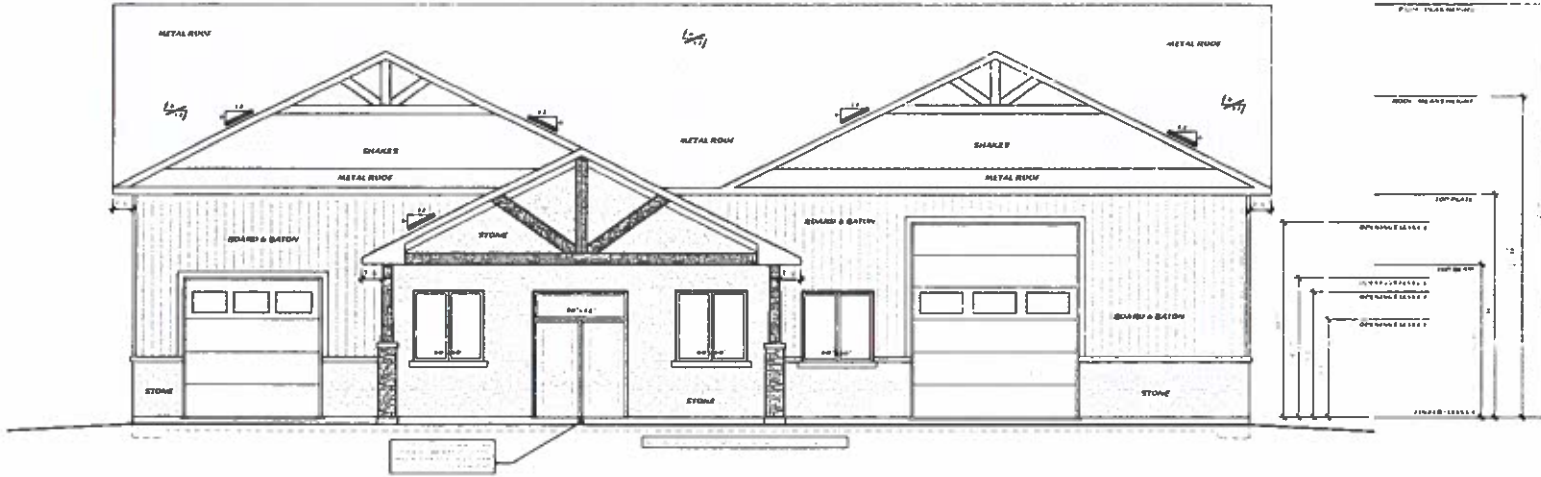


**Annable Designs**  
ARCHITECTURE-CONSULTING-PLANNING

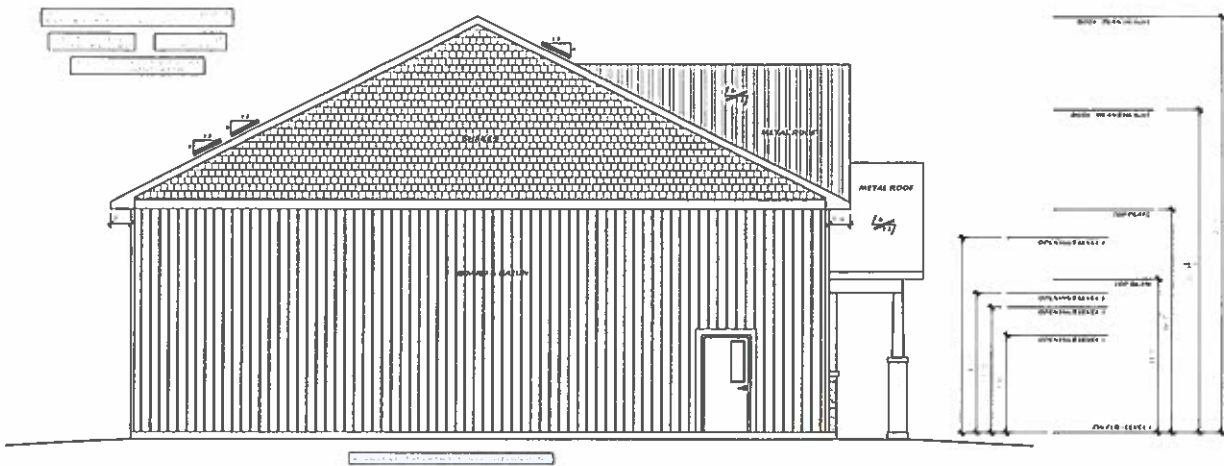
**942 A1.3**

**Rev. 05**

ROOF PLAN



**FRONT ELEVATION**



**LEFT SIDE ELEVATION**

**PROVIDE TO CLIENT FOR PERMIT SUBMISSION**

DATE	2019-03-29
PROJECT	Marshall Shop
CLIENT	Marshall Shop
ARCHITECT	Annable Designs
SCALE	As Shown
DESCRIPTION	Architectural Drawings
REVISIONS	See Schedule of Revisions
NOTES	See Elevation Notes

**ELEVATION NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. FINISH GRADE IS INDICATED BY A DOTTED LINE.

3. FINISH FLOOR IS INDICATED BY A DOTTED LINE.

4. FINISH CEILING IS INDICATED BY A DOTTED LINE.

5. FINISH ROOF IS INDICATED BY A DOTTED LINE.

6. FINISH EXTERIOR WALL IS INDICATED BY A DOTTED LINE.

7. FINISH INTERIOR WALL IS INDICATED BY A DOTTED LINE.

8. FINISH DOOR AND WINDOW THRESHOLD IS INDICATED BY A DOTTED LINE.

9. FINISH DOOR AND WINDOW CASE IS INDICATED BY A DOTTED LINE.

10. FINISH DOOR AND WINDOW FRAME IS INDICATED BY A DOTTED LINE.

11. FINISH DOOR AND WINDOW GLASS IS INDICATED BY A DOTTED LINE.

12. FINISH DOOR AND WINDOW SILL IS INDICATED BY A DOTTED LINE.

13. FINISH DOOR AND WINDOW HEAD IS INDICATED BY A DOTTED LINE.

14. FINISH DOOR AND WINDOW JAMB IS INDICATED BY A DOTTED LINE.

15. FINISH DOOR AND WINDOW STOP IS INDICATED BY A DOTTED LINE.

16. FINISH DOOR AND WINDOW TRACK IS INDICATED BY A DOTTED LINE.

17. FINISH DOOR AND WINDOW ROLLER IS INDICATED BY A DOTTED LINE.

18. FINISH DOOR AND WINDOW SPRING IS INDICATED BY A DOTTED LINE.

19. FINISH DOOR AND WINDOW LATCH IS INDICATED BY A DOTTED LINE.

20. FINISH DOOR AND WINDOW HANDLE IS INDICATED BY A DOTTED LINE.

**FRONT WALL**

OPENING AREA = 110.2 x 7.0  
 SOFFIT AREA = 110.2 x 0.5 = 55.1  
 CHIMNEY AREA = 0.0

**LEFT SIDE WALL**

OPENING AREA = 110.2 x 7.0  
 SOFFIT AREA = 110.2 x 0.5 = 55.1  
 CHIMNEY AREA = 0.0

**REAR WALL**

OPENING AREA = 110.2 x 7.0  
 SOFFIT AREA = 110.2 x 0.5 = 55.1  
 CHIMNEY AREA = 0.0

**RIGHT SIDE WALL**

OPENING AREA = 110.2 x 7.0  
 SOFFIT AREA = 110.2 x 0.5 = 55.1  
 CHIMNEY AREA = 0.0

**REVISIONS & SCHEDULE**

NO.	DATE	DESCRIPTION
1	2019-03-29	ISSUED FOR PERMIT
2	2019-03-29	ISSUED FOR PERMIT
3	2019-03-29	ISSUED FOR PERMIT
4	2019-03-29	ISSUED FOR PERMIT
5	2019-03-29	ISSUED FOR PERMIT
6	2019-03-29	ISSUED FOR PERMIT
7	2019-03-29	ISSUED FOR PERMIT
8	2019-03-29	ISSUED FOR PERMIT
9	2019-03-29	ISSUED FOR PERMIT
10	2019-03-29	ISSUED FOR PERMIT

**REVISIONS & SCHEDULE**

NO.	DATE	DESCRIPTION
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6	2019-03-29	ISSUED FOR PERMIT
7	2019-03-29	ISSUED FOR PERMIT
8	2019-03-29	ISSUED FOR PERMIT
9	2019-03-29	ISSUED FOR PERMIT
10	2019-03-29	ISSUED FOR PERMIT

**ELEVATIONS**

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 TEL: (416) 597-7700

**Annable Designs**

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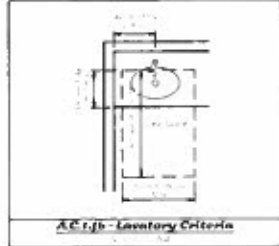
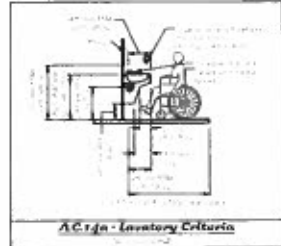
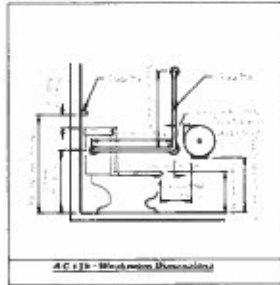
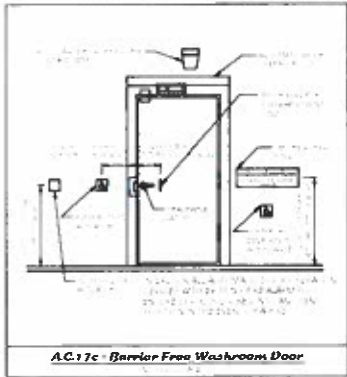
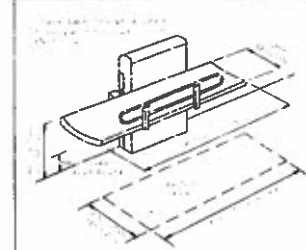
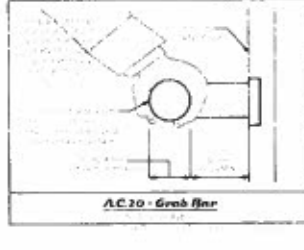
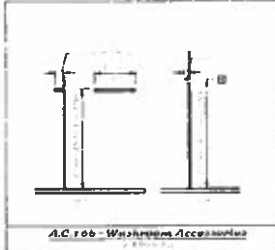
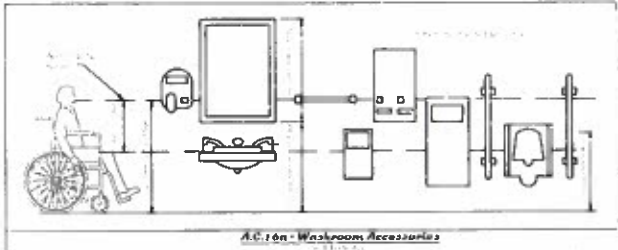


Plan, Elevations & Sections

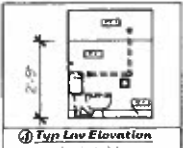
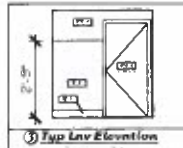
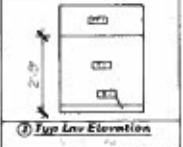
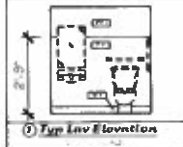
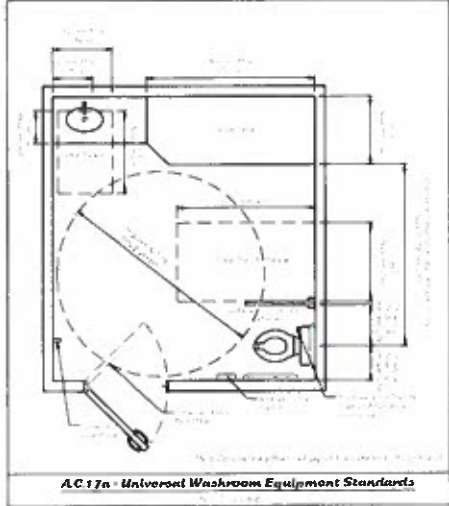
Rev. 05







IBC STANDARDS FOR BARRIER FREE REQUIREMENTS  
SOME STANDARDS MAY NOT APPLY



Item	Quantity	Unit	Description
1	1	each	Barrier Free Washroom Stall
2	1	each	Barrier Free Washroom Stall
3	1	each	Barrier Free Washroom Stall
4	1	each	Barrier Free Washroom Stall

REVISIONS & RELEASES

UNIVERSAL & BARRIER FREE

MAR 20 2019 ISSUED FOR PERMIT & CONSTRUCTION

REVISIONS & RELEASES

UNIVERSAL & BARRIER FREE

**MARSHALL SHOP**  
COUNTY ROAD 18  
DOWVILLE, ONTARIO

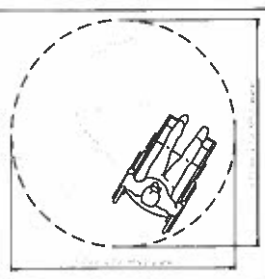
**C.W. ARCHITECTURE INC.**  
111 Kennedy Rd. Unit 104  
Markham, ON L3R 9W7  
Tel: 905.477.4700

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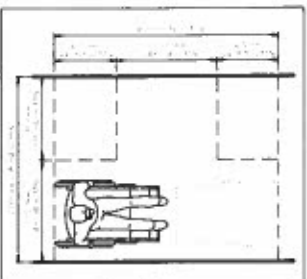
**942 A4.1**

Rev. 05

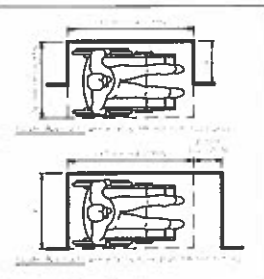




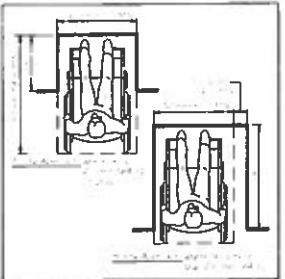
A.C.01 - 360° Turning Space



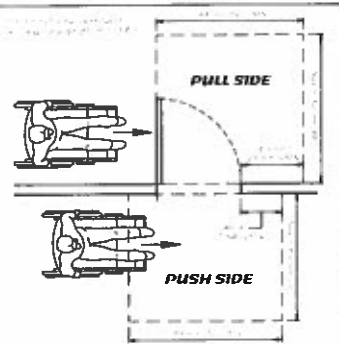
A.C.02 - 180° Turning Space



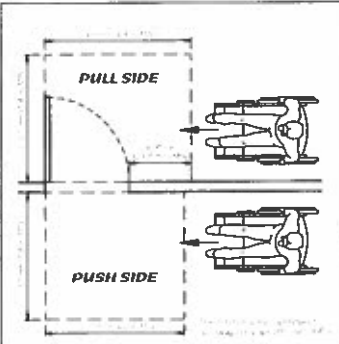
A.C.03a - Clearances at Alcove



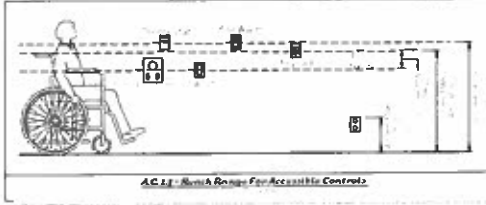
A.C.03b - Clearances at Alcove



A.C.03a - Hinge Side Approach at Hinged Doors



A.C.03b - Latch Side Approach at Hinged Doors



A.C.11 - Route A Route for Accessible Controls

1. The route shall be a clear, unobstructed path of travel.

2. The route shall be a minimum of 3.0m (10ft) long.

3. The route shall be a minimum of 1.5m (5ft) wide.

4. The route shall be a minimum of 1.0m (3ft) high.

5. The route shall be a minimum of 0.75m (2ft 6in) clear of the floor.

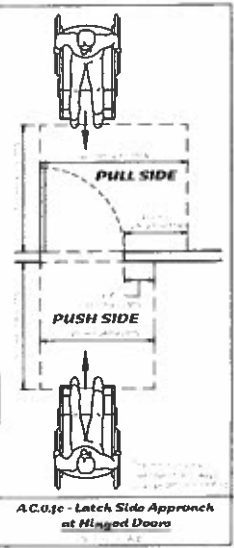
6. The route shall be a minimum of 0.75m (2ft 6in) clear of the ceiling.

7. The route shall be a minimum of 0.75m (2ft 6in) clear of the walls.

8. The route shall be a minimum of 0.75m (2ft 6in) clear of the furniture.

9. The route shall be a minimum of 0.75m (2ft 6in) clear of the equipment.

10. The route shall be a minimum of 0.75m (2ft 6in) clear of the controls.



A.C.03c - Latch Side Approach at Hinged Doors

NO.	DATE	DESCRIPTION
1	MAR 20 18	ISSUED FOR PERMIT & CONSTRUCTION
2		
3		
4		
5		
6		
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REVISIONS & RELEASES

**ACCESS & CIRCULATION**

**MARSHALL SHOP**

COUNTY ROAD 18  
DORVILLE, ONTARIO

**C. W. ARCHITECT INC.**

300 Parkside Blvd. Toronto  
Toronto, ON M6H 1S8  
Tel: 416-291-1111

**Annable Designs**

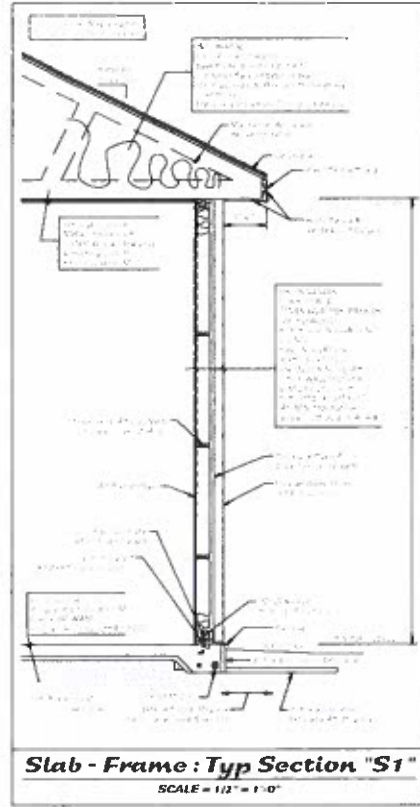
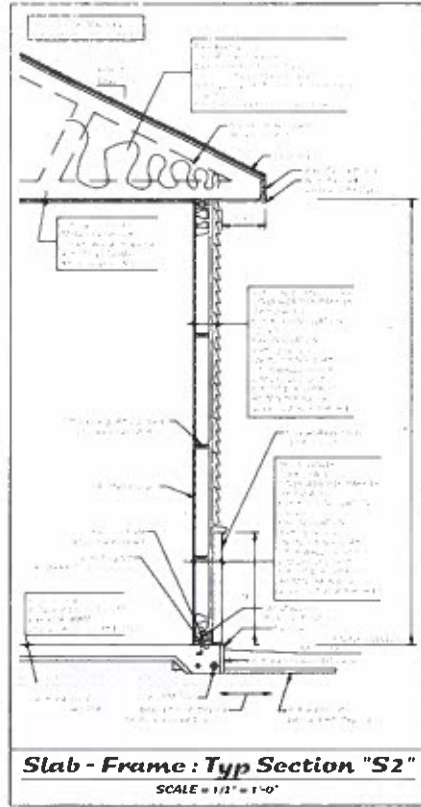
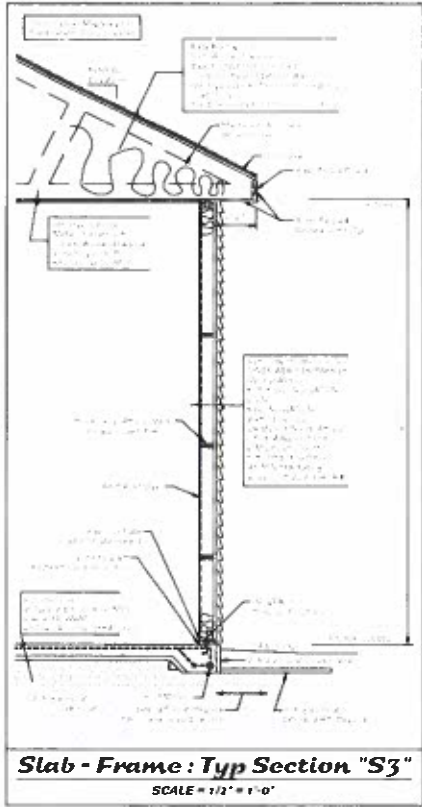
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**942** **A4.2**

Rev. 05

36264



**GENERAL NOTES:**

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS.
- 2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- 3. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREON.
- 4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- 5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

**FOUNDATION NOTES:**

- 1. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS.
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**GENERAL NOTES:**

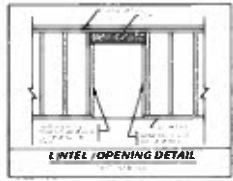
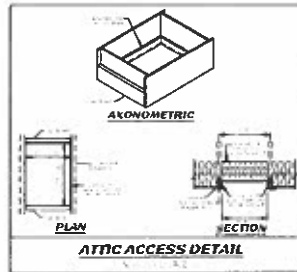
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- 5. ALL FOUNDATION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

**GENERAL NOTES:**

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS.
- 2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- 3. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREON.
- 4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- 5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.



OWNER REQUIRED MATERIALS SPECIFICATIONS	
1. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.	2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.	4. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

- GENERAL NOTES:**
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS.
  - 2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
  - 3. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREON.
  - 4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  - 5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

- FOUNDATION NOTES:**
- 1. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS.
  - 2. ALL FOUNDATION WORK SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
  - 3. ALL FOUNDATION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREON.
  - 4. ALL FOUNDATION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  - 5. ALL FOUNDATION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

- SLAB ON GRADE NOTES:**
- 1. ALL SLAB ON GRADE WORK SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE BY-LAWS.
  - 2. ALL SLAB ON GRADE WORK SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
  - 3. ALL SLAB ON GRADE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES HEREON.
  - 4. ALL SLAB ON GRADE WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  - 5. ALL SLAB ON GRADE WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

NO.	DATE	DESCRIPTION
1	2019-01-15	ISSUED FOR PERMIT & CONSTRUCTION
2	2019-02-15	REVISIONS & RELEASES

**SECTIONS & DETAILS**

**MARSHALL SHOP**  
COUNTY ROAD 15  
DONMILLIE, ONTARIO

**Annable Designs**  
ARCHITECTURE-CONSULTING-PLANNING

**942 A5.1**

Plan, Elevation & Section

Rev. 05

## **SCHEDULE "C"**

### **Conditions**

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#### **Standard Conditions**

- 1. The Owner shall enter into a site plan agreement, which shall include provisions for financial security to the satisfaction of the Township, and the following conditions. In the event that the Owner fails to enter into such agreement within 1 year, this approval shall lapse.**
- 2. The Owner shall obtain such permits as may be required from Municipal or Counties authorities and shall file copies thereof with the Township.**
- 3. The Owner agrees that the site shall be developed in accordance with the approved plans.**
- 4. The Owner shall reinstate at its expense, to the satisfaction of the Township, any property of the Township, including, but not limited to roads, entrances, sidewalks and curbs, boulevards, that are damaged as a result of the subject development.**
- 5. The Owner acknowledges and agrees to provide the Township, upon completion of all works, certification that all works have been completed in conformity with the approved plans.**
- 6. The Owner agrees to comply with any and all requirements of the relevant utility companies.**

#### **Special Conditions**

- 7. The Owner shall obtain a permit from the Leeds, Grenville, and Lanark District Health Unit for the Septic System.**