



**THE CORPORATION OF THE TOWNSHIP OF AUGUSTA  
By-law No. 3461-2020**

**BEING A BY-LAW TO AMEND BY-LAW No. 2965**

**WHEREAS** pursuant to the provisions of the Planning Act, Section 34, the Council of a Municipality may enact by-laws to regulate the use of land, buildings or structures for any purpose set out therein that is otherwise prohibited;

**AND WHEREAS** By-law No. 2965 regulates the use of land and the use and erection of buildings and structures within the Township of Augusta;

**NOW THEREFORE** the Council of the Corporation of the Township of Augusta enacts as follows:

1. The following new section is added to section 7.4.4:

On lands zoned Waterfront Residential – Exception 1 (RW-X1), the maximum number of dwelling units per lot shall be 8; and the following permitted use shall be added to the list of permitted uses stated in section 7.4.1:

- Dwelling – Row
2. Schedule G of By-law 2965 is hereby amended in accordance with Schedule A of this By-law.
  3. All other applicable provisions of By-law 2965 shall continue to apply.

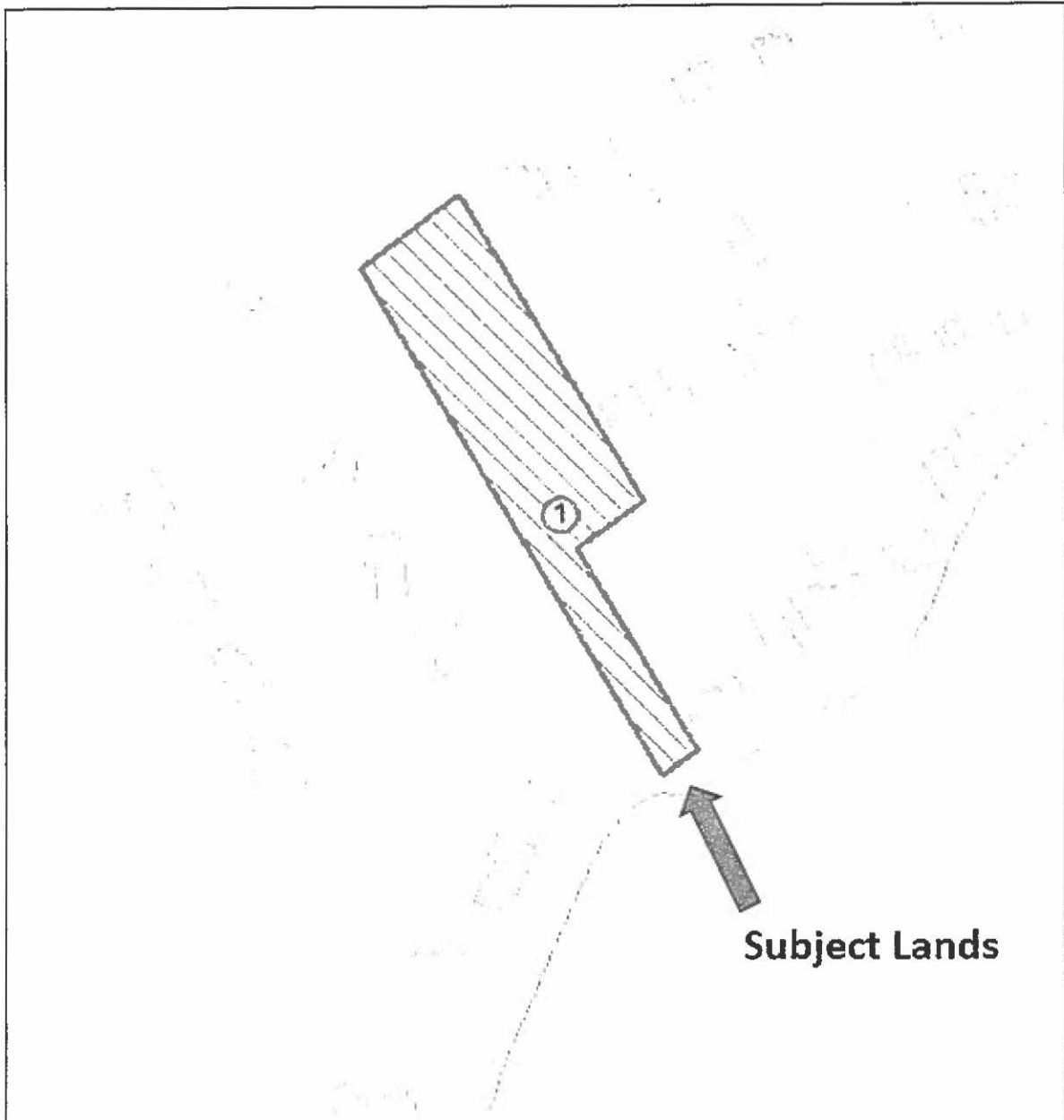
**Read a first and second time this 10<sup>th</sup> day of February, 2020.**

**Read a third time and adopted this 10<sup>th</sup> day of February, 2020.**

Deputy Mayor

Clerk

**SCHEDULE A to BY-LAW 3461-2020**



**Subject Lands**



**Area to be rezoned from Highway Commercial (CH)  
to Waterfront Residential - Exception 1 (RW-X1)**